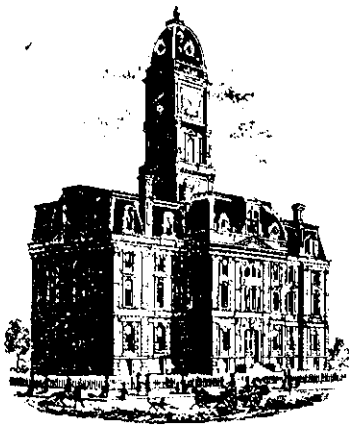


**Drain:** CLAY CREEK DRAIN **Drain #:** 318  
**Improvement/Arm:** HIGH GROVE - SECTION 2  
**Operator:** JOH **Date:** 3-26-04  
**Drain Classification:** Urban/Rural **Year Installed:** 2001

### GIS Drain Input Checklist

- Pull Source Documents for Scanning JOH 3-26
- Digitize & Attribute Tile Drains JOH 3-26
- Digitize & Attribute Storm Drains JOH 3-26
- Digitize & Attribute SSD JOH 3-26
- Digitize & Attribute Open Ditch JOH 3-30
- Stamp Plans JOH 3-26
- Sum drain lengths & Validate JOH 3-26
- Enter Improvements into Posse JOH 3-26
- Enter Drain Age into Posse JOH
- Sum drain length for Watershed in Posse JOH
- Check Database entries for errors JOH 3-26





SURVEYOR'S OFFICE

# Hamilton County

*Kenton C. Ward, Surveyor*

*Phone (317) 776-8495*

*Fax (317) 776-9628*

*Suite 188*

*One Hamilton County Square*

*Noblesville, Indiana 46060-2230*

TO: Hamilton County Drainage Board

December 19, 2001

RE: Clay Creek Drain, High Grove Section 2 Arm

Attached is a petition, non-enforcement request, plans, calculation, quantity summary and assessment roll for the High Grove Section 2 Arm, Clay Creek Drain. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable; will improve the public health; benefit a public highway and be of public utility; and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. The drain will consist of the following:

6" SSD	1688 ft	15" RCP	36 ft
12" RCP	106 ft	Open Ditch	780 ft

The total length of the drain will be 2,610 feet.

The retention pond (lake) and dry detention located in Block D is not to be considered part of the regulated drain. Only the inlet and outlet will be maintained as part of the regulated drain. The maintenance of the pond (lake) will be the responsibility of the Homeowners Association. The Board will however, retain jurisdiction for ensuring the storage volume for which the lake was designed will be retained. Therefore, allowing no fill or easement encroachments.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs. Only the main SSD lines which are located within the right of way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain.

The open ditch listed above is that portion of Clay Creek which runs through Blocks D and E. Also considered part of the open ditch are the swales in the dry detention area between structures 626, 632 and 628.

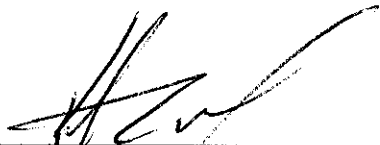
I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$50.00 per lot, \$10.00 per acre for roadways, with a \$50.00 minimum. With this assessment the total annual assessment for this drain, this section will be \$936.00.

Parcels assessed for this drain may be assessed for the Williams Creek or Collins-Osborn Drain at sometime in the Future.

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the board also approve the attached non-enforcement request. This request is for the reduction of the regulated drain easement to those easement widths as shown on the secondary plat for High Grove, Section 2 as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for January 28, 2002.



---

Keriton C. Ward  
Hamilton County Surveyor

SUBDIVISION IMPROVEMENTS PERFORMANCE BOND

Bond No. 886579S

KNOW ALL MEN BY THESE PRESENTS:

That we, Estridge Development Company, Inc., as Principal, and Developers Surety and Indemnity Company, a Corporation organized and doing business under and by virtue of the laws of the State of Iowa and duly licensed to conduct a general surety business in the State of Indiana, as Surety, are held and firmly bound unto Hamilton County Board of Commissioners as Obligee in the sum of Thirty Eight Thousand Two Hundred Eighty Five & No/100 (~~\$--38,285.00--~~) Dollars for which payment, well and truly to be made, we bind ourselves, our heirs, executors and successors, jointly and severally firmly by these presents.

Whereas, Principal is the owner and developer of real property described as High Grove, Section 2 -

Whereas, Principal, has, as a condition to approval of the plat for the real property, agreed to construct certain land improvements, consisting of Storm and Subsurface Drains, as specified in the plans and specifications prepared by \_\_\_\_\_; and

Whereas, Principal is required to provide security for the faithful performance of such improvements.

NOW THEREFORE, the condition of this obligation is such that so long as Principal shall well and truly perform the conditions for plat approval, and delivers them, in good and workmanlike condition, within the time specified in such conditions, or any extension thereof, granted by Obligee, with or without notice to Surety, then this obligation shall be void, otherwise to remain in full force and effect, subject further to the following terms and conditions:

1. The obligation of surety shall, in no event, exceed the penal sum hereof.
2. In the event of litigation between Obligee, Surety and Principal, arising out of any breach, or to enforce any right or obligation hereby created, the prevailing party shall be entitled to the recovery of costs and reasonable attorneys fees.
3. This bond shall remain in full force and effect until release by the Obligee, provided further that the penal sum hereof may be reduced upon resolution of Obligee.
4. Neither this bond, nor any right or obligation hereunder may be assigned, conveyed or hypothecated except upon the express, written, consent of Surety and Principal.

WITNESSETH my hand and seal this 25th day of July, 20 01.

Estridge Development Company, Inc.  
Principal

BY: [Signature]

Title: Director of Land Development

**BOARD OF COMMISSIONERS OF THE COUNTY OF HAMILTON**

[Signature]  
[Signature]  
[Signature]

SIP0300  
DATE 8-27-01

Developers Surety and Indemnity Company  
Surety

BY: [Signature]

Ginger J. Krahn  
Attorney-in-Fact

RELEASE OF MAINTENANCE/PERFORMANCE BOND  
RELEASE OF LETTER OF CREDIT

HAMILTON COUNTY BOARD OF COMMISSIONERS

BY: [Signature]  
BY: [Signature]  
BY: [Signature]

Gabe M. Mills  
HAMILTON COUNTY AUDITOR

ATTEST: Gabe M. Mills  
HAMILTON COUNTY AUDITOR

This copy printed from the Digital Archive of the Hamilton County Surveyor's Office; One Hamilton Co. Square, Ste. 188, Noblesville, In 46060

SUBDIVISION IMPROVEMENTS PERFORMANCE BOND

Bond No. 886580S

KNOW ALL MEN BY THESE PRESENTS:

That we, Estridge Development Company, Inc., as Principal, and Developers Surety and Indemnity Company, a Corporation organized and doing business under and by virtue of the laws of the State of Iowa and duly licensed to conduct a general surety business in the State of Indiana, as Surety, are held and firmly bound unto Hamilton County Board of Commissioners as Obligee in the sum of Eleven Thousand Nine Hundred Fifty One & No/100 (\$ --11,951.00--) Dollars for which payment, well and truly to be made, we bind ourselves, our heirs, executors and successors, jointly and severally firmly by these presents.

Whereas, Principal is the owner and developer of real property described as High Grove, Section 2 -

Whereas, Principal, has, as a condition to approval of the plat for the real property, agreed to construct certain land improvements, consisting of Erosion Control, as specified in the plans and specifications prepared by \_\_\_\_\_; and

Whereas, Principal is required to provide security for the faithful performance of such improvements.

NOW THEREFORE, the condition of this obligation is such that so long as Principal shall well and truly perform the conditions for plat approval, and delivers them, in good and workmanlike condition, within the time specified in such conditions, or any extension thereof, granted by Obligee, with or without notice to Surety, then this obligation shall be void, otherwise to remain in full force and effect, subject further to the following terms and conditions:

1. The obligation of surety shall, in no event, exceed the penal sum hereof.
2. In the event of litigation between Obligee, Surety and Principal, arising out of any breach, or to enforce any right or obligation hereby created, the prevailing party shall be entitled to the recovery of costs and reasonable attorneys fees.
3. This bond shall remain in full force and effect until release by the Obligee, provided further that the penal sum hereof may be reduced upon resolution of Obligee.
4. Neither this bond, nor any right or obligation hereunder may be assigned, conveyed or hypothecated except upon the express, written, consent of Surety and Principal.

WITNESSETH my hand and seal this 25th day of July, 20 01.

Estridge Development Company, Inc.  
Principal

BY: [Signature]

Title: Director of Land Development

**BOARD OF COMMISSIONERS  
OF THE COUNTY OF HAMILTON**

[Signature]  
[Signature]  
[Signature]

SIP0300  
DATE 8-27-01

Developers Surety and Indemnity Company  
Surety

BY: [Signature]

Ginger J. Krahn  
Attorney-in-Fact

RELEASE OF MAINTENANCE/PERFORMANCE BOND  
RELEASE OF LETTER OF CREDIT

HAMILTON COUNTY BOARD OF COMMISSIONERS

BY: [Signature]  
BY: [Signature]  
BY: [Signature]

ATTEST: [Signature]  
HAMILTON COUNTY AUDITOR

ATTEST: [Signature]  
HAMILTON COUNTY AUDITOR

CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: HIGH GROVE , SECTION 2

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.

Signature: Brandon T. Burke Date: 7/8/03

Type or Print Name: Brandon T Burke

Business Address: THE SCHNEIDER CORPORATION

12821 E. NEW MARKET STREET, SUITE 100 CARMEL, IN 46032

Telephone Number: 317-569-8112

SEAL

INDIANA REGISTRATION NUMBER

0000075





SURVEYOR'S OFFICE

# Hamilton County

Kenton C. Ward, Surveyor  
 Phone (317) 776-8495  
 Fax (317) 776-9628

Suite 188  
 One Hamilton County Square  
 Noblesville, Indiana 46060-2230

**To: Hamilton County Drainage Board**

**November 5, 2003**

**Re: Clay Creek Drain – High Grove Sec. 2 Arm**

Attached are as-builts, certificate of completion & compliance, and other information for High Grove Sec. 2. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated December 19, 2001. The report was approved by the Board at the hearing held January 28, 2002. (See Drainage Board Minutes Book 6, Pages 256-257)

The changes are as follows:

Structure:	T.C.:	I.E.:	Pipe:	Length:	Grade:	Original:	Difference:
634		868.45					
633		868.21	6' x4'	73	0.33	70	3
630	874.82	871.98					
629	874.91	871.86	15	28	0.43		
629	874.91	871.86					
628		871.44	15	47	0.89		
632		870.78					
631		870.6	15	37	0.49	36	1
627	874.82	871.85					
626		871.45	12	45	0.89	40	5

**6" SSD Streets:**

Braeburn Dr	685
Bramley Ct	275

x2

**Total:** 1920

**RCP Pipe Totals:**

12	45
15	112
6' x 4'	73

**Total:** 230

<b>Other Drain:</b>	
open ditch	780

**Total:** 780

The length of the drain due to the changes described above is now **2930 feet**.



The non-enforcement was approved by the Board at its meeting on January 28, 2002 and recorded under instrument #200200066638.

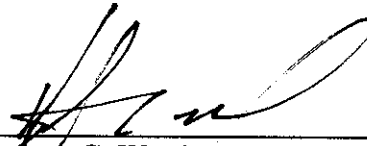
The following sureties were guaranteed by Developers Surety and Indemnity Co. and released by the Board on its September 23, 2002 meeting.

**Bond-LC No:** 886579S  
**Insured For:** Storm Sewers  
**Amount:** \$38,285.00  
**Issue Date:** July 25, 2001

**Bond-LC No:** 886580S  
**Insured For:** Erosion Control  
**Amount:** \$11,951.00  
**Issue Date:** July 25, 2001

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,

---

Kenton C. Ward,  
Hamilton County Surveyor

KCW/slm

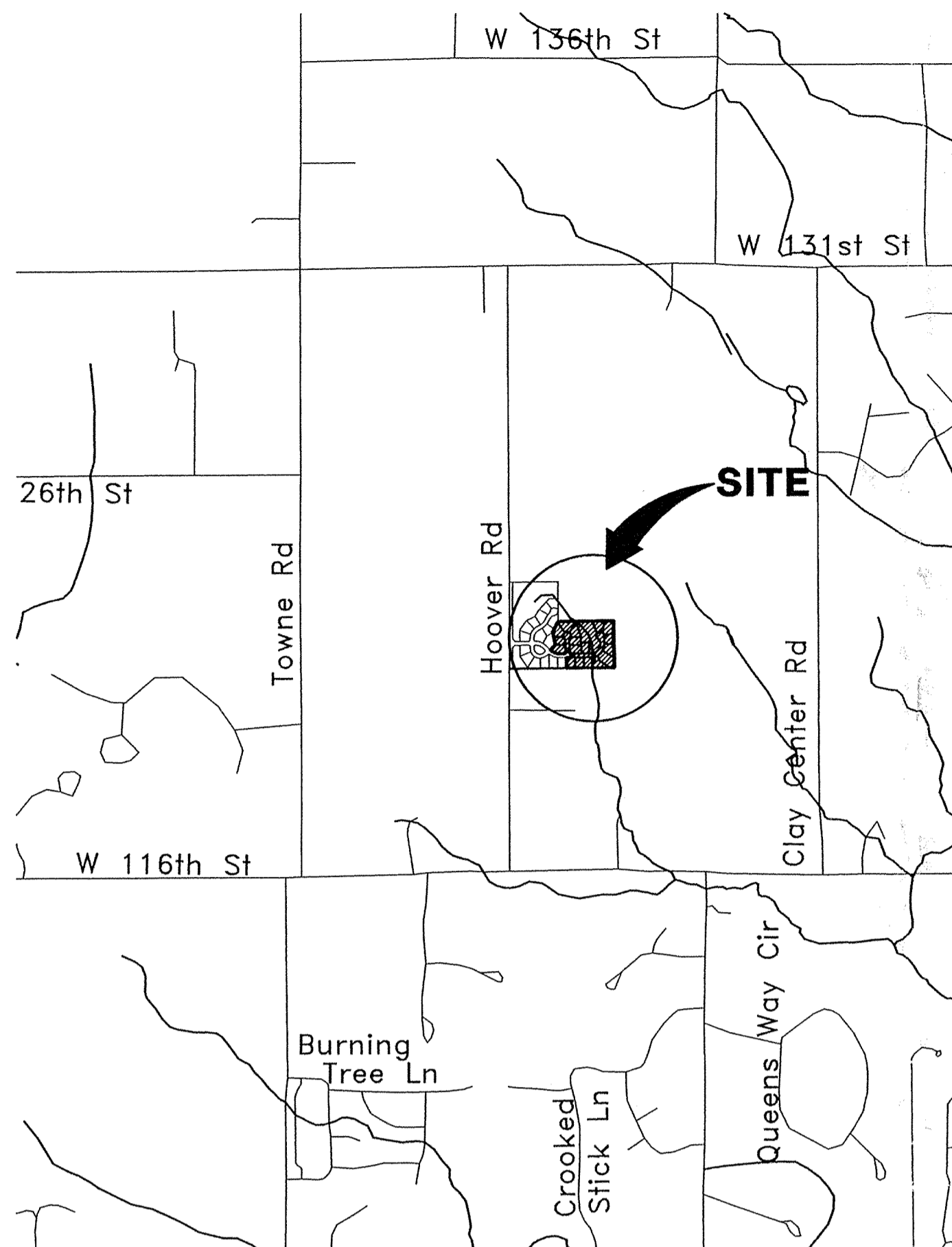
SEC. 33-T18N-R3E

# HIGH GROVE SECTION 2

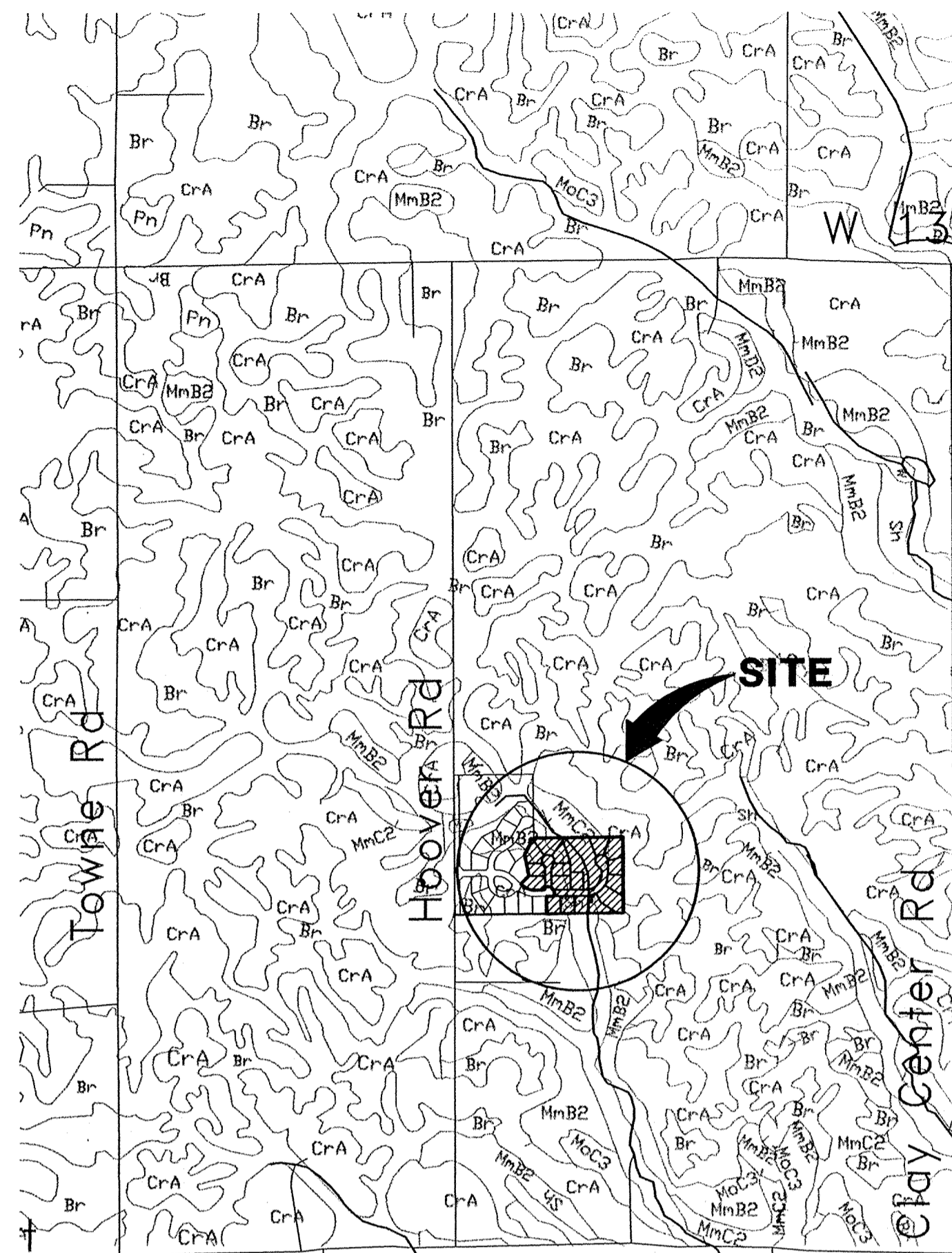
(CONSTRUCTION PLANS)

## HAMILTON COUNTY CARMEL, INDIANA

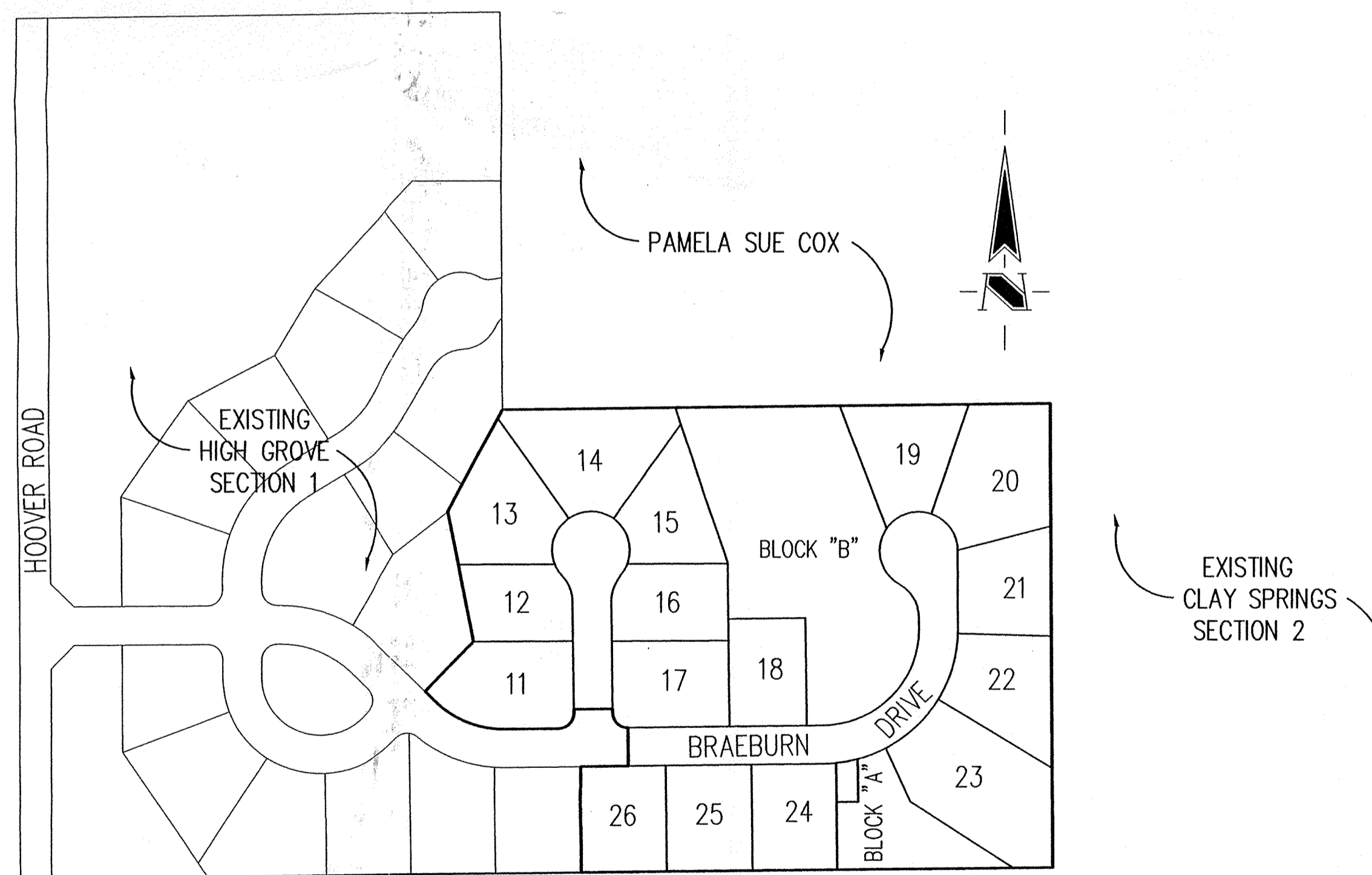
**DEVELOPER:**  
**ESTRIDGE DEVELOPMENT COMPANY**  
 1041 WEST MAIN STREET  
 CARMEL, INDIANA 46032  
 (317) 846-7311



**AREA MAP**  
NOT TO SCALE



**SOILS MAP**  
NOT TO SCALE



**SITE MAP**  
SCALE: 1" = 150'

**ROADWAY DESIGN**  
SPEED = 25MPH

INDEX	
SHEET No.	DESCRIPTION
C100	COVER SHEET
C101	DEVELOPMENT PLAN
C102	EROSION CONTROL PLAN
C103	EROSION CONTROL DETAILS
C104	TRAFFIC CONTROL PLAN
C201	STREET PLAN AND PROFILES
C301	CUL-DE-SAC DETAILS
C401	SANITARY SEWER PLAN & PROFILES
C601	STORM SEWER PLAN & PROFILES
C602	CLAY CREEK THALWEG PROFILE
C701	WATER DISTRIBUTION PLAN
C702	WATER DETAILS AND SPECIFICATIONS
C801-C803	GENERAL DETAILS
C901	SPECIFICATIONS

HAMILTON COUNTY INDIANA  
 This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.  
 Entry Date: 3-26-04  
 Entered by: JDH

**The Schneider Corporation**

12726 Hamilton Crossing Blvd. Engineering  
 Carmel, Indiana 46032 Surveying  
 317-574-3797 Landscape Architecture  
 317-574-3799 Fax GIS • LIS  
 Geology

Formerly Schneider Engineering Corp. / Bohlen, Meyer, Gibson & Assoc.

*Brandon T. Burke*  
 CERTIFIED BY: BRANDON T. BURKE, P.E.  
 E-MAIL ADDRESS: bburke@theschneidercorp.com

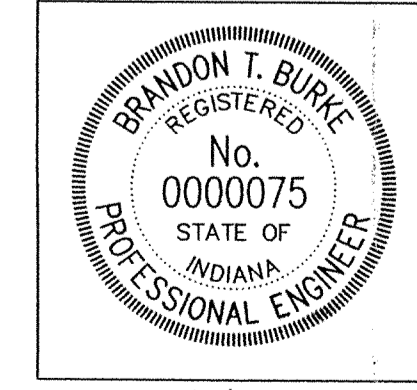
REVISIONS:	DATE:	BY:	DESCRIPTION:
	08/21/00	MG	ALL SHEETS
	08/27/01	DCC	ALL SHEETS
	09/28/01	BET	C101, C601, C602 & C701
	08/02/02	DCC	RECORD DRAWINGS

PROJECT ENGINEER: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_ DATE CHECKED: \_\_\_\_\_

THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF THE SCHNEIDER CORPORATION AND ARE NOT TO BE USED OR REPRODUCED IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF THE SCHNEIDER CORPORATION.  
 2000, The Schneider Corporation

**DRAINAGE**  
**SUB-SURFACE DRAINAGE**  
**SANITARY SEWER**  
**STORM SEWER**  
**RECORD DRAWING**

THESE DOCUMENTS ARE SUBJECT TO PERIODIC REVISIONS BY THE SCHNEIDER CORPORATION. THE HOLDER IS RESPONSIBLE FOR VERIFYING THAT THESE DOCUMENTS ARE THE MOST CURRENT PRIOR TO USE.



DATE: 7/8/03

SHEET  
**C100**  
 OF  
 16



ASSUMED NORTH SCALE: 1"=50'

# LAKE CROSS SECTION SUB-SURFACE DRAINAGE STORM SEWER SANITARY SEWER RECORD DRAWING

**SANITARY STRUCTURE TABLE**

Str.#	Type	T.C.	Invert(s)	Structure Type	Castina Type
EX401	MANHOLE	876.99	865.50 NE, EX. 861.01 W&S	SANITARY MANHOLE	NEENAH R-1642
410	MANHOLE	875.90	867.65 NE, 866.28 SW	SANITARY MANHOLE	NEENAH R-1642
411	MANHOLE	876.30	868.70 NE, 868.60 SW	SANITARY MANHOLE	NEENAH R-1642
412	MANHOLE	875.90	869.40 SE	SANITARY MANHOLE	NEENAH R-1642
413	MANHOLE	881.00	864.04 S	SANITARY MANHOLE	NEENAH R-1642

**STORM STRUCTURE TABLE**

Str.#	Type	T.C.	Invert(s)	Structure Type	Castina Type
626	END SECTION	871.50(12")		END SECTION	
627	INLET	874.90	871.70(12") SW	ROLL CURB INLET	NEENAH R-3501-N
628	END SECTION	870.60(12")		END SECTION	
629	INLET	874.89	871.74(15") NW, 871.74(15") SW	ROLL CURB INLET	NEENAH R-3501-N
630	INLET	874.89	871.85(18") NW	ROLL CURB INLET	NEENAH R-3501-N
631	END SECTION	870.60(15")		END SECTION	
632	END SECTION	870.75(15")		END SECTION	
633	END SECTION	869.33(6'x4')		BOX CULVERT	
634	END SECTION	869.68(6'x4')		BOX CULVERT	

NOTE:  
ALL DEBRIS AND OBSTRUCTIONS WILL BE REMOVED FROM TOP OF BANK TO TOP OF BANK ALONG CLAY CREEK. FINAL DETERMINATION TO BE MADE IN FIELD BY INSPECTOR.

**LEGEND**

- Existing Storm Sewer
- New Storm Sewer
- Existing Sanitary Sewer
- New Sanitary Sewer
- Existing Contour
- Existing Elevation w/ description
- New Pavement Grade
- All Other Finish Grades
- Storm Structure Number
- Sanitary Structure Number
- Flow Arrow
- Denotes Elevation and Approximate Pad Size
- MFGP
- Win/O
- 6" Subsurface Drain
- Swale (R)
- Emergency Flood Routing
- Protective Bollards 15' o-c
- BFE= Base Flood Elevation (100 Year)

- ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND CONDITIONS PERTAINING TO HIS PHASE OF WORK. IT SHALL ALSO BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNERS OF THE VARIOUS UTILITIES FOR PROPER STAKE LOCATIONS FOR EACH UTILITY BEFORE WORK IS STARTED. THE CONTRACTOR SHALL NOTIFY IN WRITING THE OWNER OR THE ENGINEER OF ANY CHANGES, OMISSIONS, OR ERRORS FOUND ON THESE PLANS OR IN THE FIELD BEFORE WORK IS STARTED OR RESUMED.
- STANDARD SPECIFICATIONS FOR HAMILTON COUNTY SURVEYOR SHALL APPLY FOR ALL STORM SEWERS AND C.T.R.W.D. STANDARD SPECIFICATIONS FOR ALL SANITARY SEWERS.
- ANY PART OF THE SANITARY OR STORM SEWER TRENCHES RUNNING WITHIN 5' OF PAVED AREAS TO BE BACKFILLED WITH GRANULAR MATERIAL.
- THE SIZE AND LOCATION OF EXISTING UTILITIES SHOWN ARE PER INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES. ALL UTILITY COMPANIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION FOR FIELD LOCATION OF SERVICES.
- SERVICE WALKS SHALL BE NON-REINFORCED CONCRETE 4" THICK AND 4' IN WIDTH.
- CONCRETE SERVICE WALK ACROSS FRONTAGE OF EACH LOT TO BE CONSTRUCTED BY OTHERS.
- EXPANSION JOINTS AREA TO BE PLACED AT ALL WALK INTERSECTIONS AND BETWEEN WALKS AND PLATFORMS. SIDEWALK SCORES ARE TO BE EQUALLY SPACED BETWEEN EXPANSION JOINTS, CONTRACTION JOINTS AND PERPENDICULAR TO SIDEWALKS AT 5' INTERVALS OR LESS WITH A CONTRACTION JOINT EVERY 20' OR LESS.
- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
- ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
- CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES. REMOVE AND BACKFILL ALL AREAS WHERE ANY FIELD TILE CROSSES PROPOSED HOUSE PADS. ALL FIELD TILES INTERCEPTED TO BE PERPETUATED INTO STORM SEWER SYSTEM OR LAKE. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER IN ANY CIRCUMSTANCES WHERE THIS CANNOT BE ACCOMPLISHED.
- ALL FILL AREAS SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY (ASTM D-1557). UNDER THE FOOTING SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY (ASTM D-1557). DECORATIVE SIGNS, SPRINKLER SYSTEMS, TREES, LANDSCAPING MOUNDS OR OTHER SUCH AMENITIES ARE NOT PERMITTED IN THE RIGHT OF WAY.

Revisions  
1. W.G. 08/21/00, REVISED PER TAC COMMENTS.  
2. D.C. 08/27/00, REVISED PER HAMILTON CO. SURVEYOR'S OFFICE.  
3. B.E. 09/28/01, REVISED BOX CULVERT PER HAMILTON CO. SURVEYOR'S OFFICE.  
4. D.C. 08/02/02, RECORD DRAWING

## CERTIFICATION FOR "RECORD DRAWING"

SUB-SURFACE DRAIN AND LAKE CROSS SECTION LOCATIONS.



CERTIFIED BY: *BRB* 7/10/03

THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF THE SCHNEIDER CORPORATION AND ARE NOT TO BE USED OR REPRODUCED IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF THE SCHNEIDER CORPORATION.



12726 Hamilton Crossing Blvd. Carmel, Indiana 46032  
317-574-3797  
317-574-3799 Fax  
Engineering, Surveying, Landscape Architecture, GIS + LIS, Geology

Formerly Schneider Engineering Corp. / Bohlen, Meyer, Gibson & Assoc.

ESTRIDGE DEVELOPMENT CO., INC.  
HIGH GROVE - SECTION 2  
HAMILTON COUNTY, INDIANA

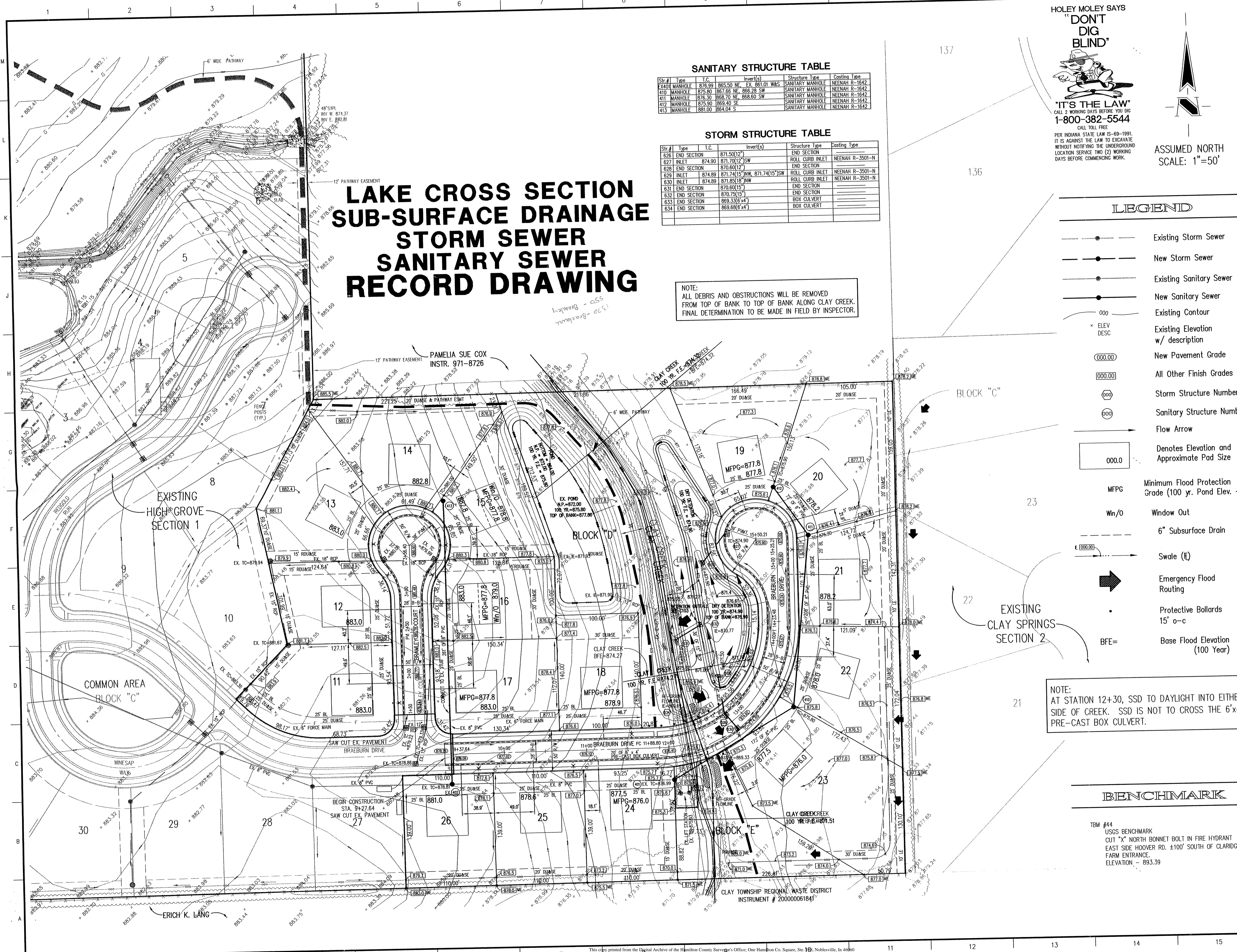
### DEVELOPMENT PLAN

Date	Project No.	Drawn	Approved
06/16/00	2464.002	BET	
Computer Files	Sheet No.		
J:\2464\002\DWG\C101.DWG XREF: 001BASE.DWG XREF: 002BASE.DWG XREF: 2464GILL.DWG	C101		

NOTE:  
AT STATION 12+30, SSD TO DAYLIGHT INTO EITHER SIDE OF CREEK. SSD IS NOT TO CROSS THE 6'x4' PRE-CAST BOX CULVERT.

### BENCHMARK

TBM #44  
USGS BENCHMARK  
CUT "X" NORTH BONNET BOLT IN FIRE HYDRANT  
EAST SIDE HOOVER RD. ±100' SOUTH OF CLARIDGE FARM ENTRANCE.  
ELEVATION - 893.39





- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
- ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL UTILITY LOCATIONS BEFORE CONSTRUCTION BEGINS.
- CONTRACTORS SHALL MINIMIZE DAMAGE TO EXISTING TREES.
- ALL WYE, LATERAL AND PROFILE STATIONS ARE FROM THE NEAREST DOWNSTREAM MANHOLE. (MH)
- WYES AND LATERALS TO BE 6" PIPE UNLESS OTHERWISE SPECIFIED.
- ALL WYE CONNECTIONS SHALL HAVE A MINIMUM OF FIVE (5) FOOT LATERAL EXTENSION CONNECTED TO THE WYE OR EXTEND TO THE UTILITY AND DRAINAGE EASEMENT OF THE LOT, WHICHEVER IS GREATER, BUT IN NO CASE SHOULD THE END OF THE LATERALS BE CLOSER THAN FIVE (5) FEET TO THE BUILDING LINE, UNLESS NOTED OTHERWISE. THE END OF THE LATERAL SHALL BE PLUGGED OR CAPPED, UNLESS OTHERWISE NOTED.
- LATERALS RUNNING TO THE OPPOSITE SIDE OF THE STREET SHALL EXTEND TO THE UTILITY AND DRAINAGE EASEMENT OF THE LOT, BUT IN NO CASE SHOULD THE END OF THE LATERALS BE CLOSER THAN FIVE (5) FEET TO THE BUILDING LINE, UNLESS OTHERWISE NOTED.

Sheet	Detail Number	Description
C801	1	Precast Reinforced Concrete Manhole
C801	2	Sanitary Sewer Bedding Detail
C801	3	House Connection to Main Sewer

**LEGEND/DETAILS**

**NOTE**  
ALL SANITARY SEWER LATERALS TO HAVE FULL DEPTH GRANULAR BACKFILL FROM RIGHT OF WAY TO RIGHT OF WAY.

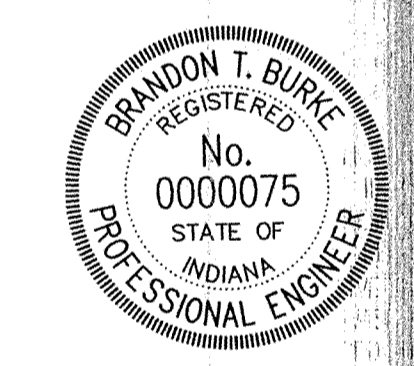
**BENCHMARK**

TBM #44  
USGS BENCHMARK  
CUT "X" NORTH BONNET BOLT IN FIRE HYDRANT  
EAST SIDE HOOPER RD. ±100' SOUTH OF CLARIDGE FARM ENTRANCE.  
ELEVATION - 893.39

- Revisions**
- MS, 08/21/00, REVISED PER TAC COMMENTS.
  - DCC, 08/27/01, REVISED PER HAMILTON CO. SURVEYOR'S OFFICE.
  - RAS, 08/02/02, RECORD DRAWING.

**CERTIFICATION FOR "RECORD DRAWING"**

**NOTE:**  
Record drawing certification only for top of casting, invert elevations and lengths of pipe. Slope percentage represents a calculated figure and is for general information only.



CERTIFIED BY *Brandon T. Burke* 7/2/03

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12726 Hamilton Crossing Blvd. Engineering  
Carmel, Indiana 46032 Surveying  
317-574-3797 Landscape Architecture  
317-574-3799 GIS + LIS  
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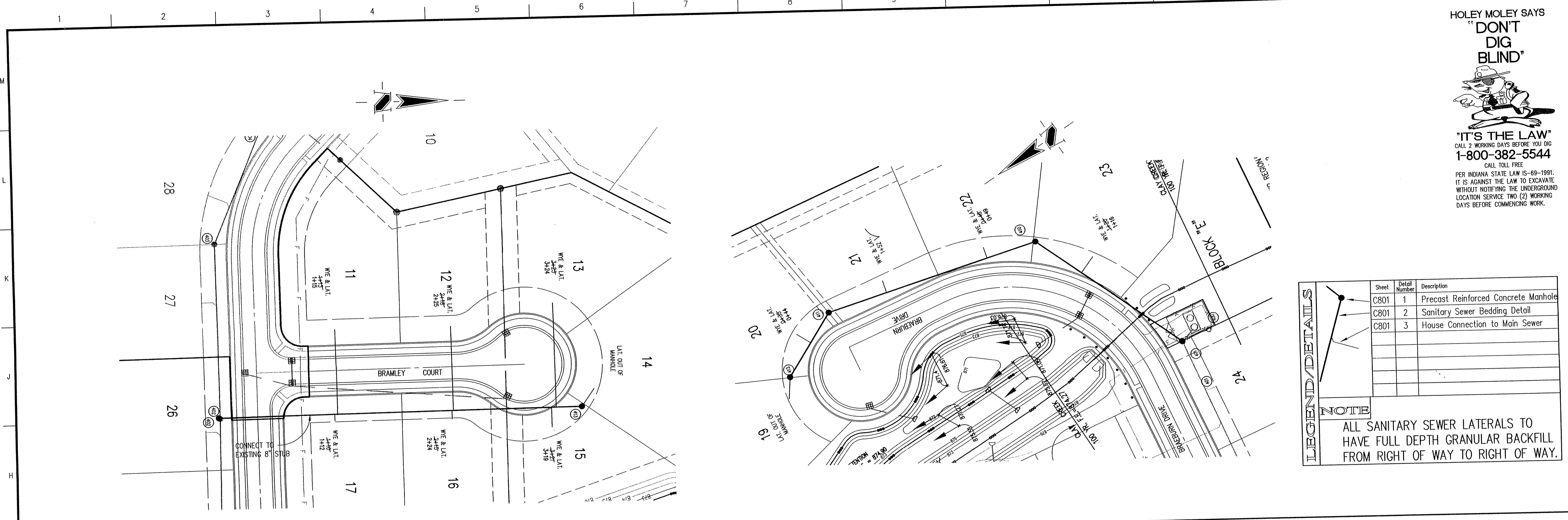
ESTRIDGE DEVELOPMENT CO., INC.  
HIGH GROVE - SECTION 2  
HAMILTON COUNTY, INDIANA

SANITARY SEWER PLAN AND PROFILE

Date	Project No.	Drawn	Approved
06/16/00	2464.002	DCC	

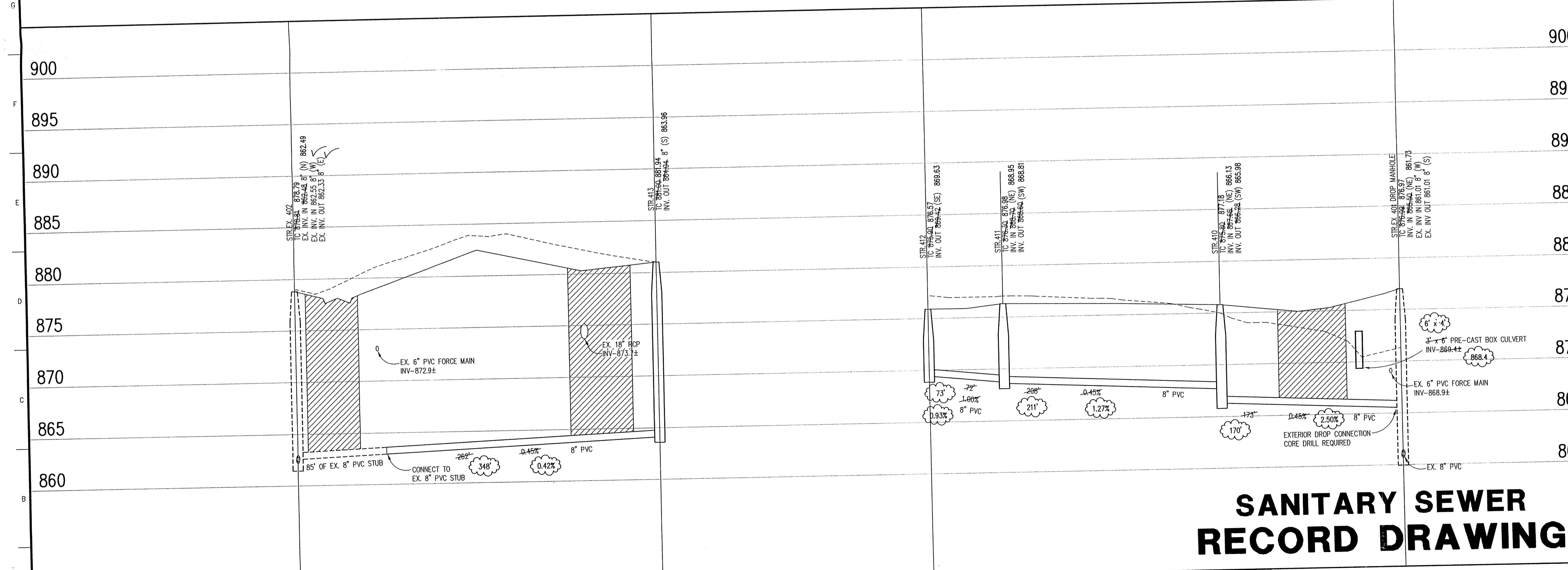
Computer Files  
XREF: 001BASE.DWG  
XREF: 002BASE.DWG

Sheet No.  
**C401**



SANITARY SEWER PLAN

SCALE: 1"=50'



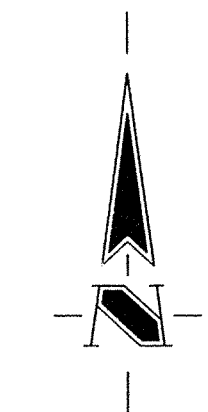
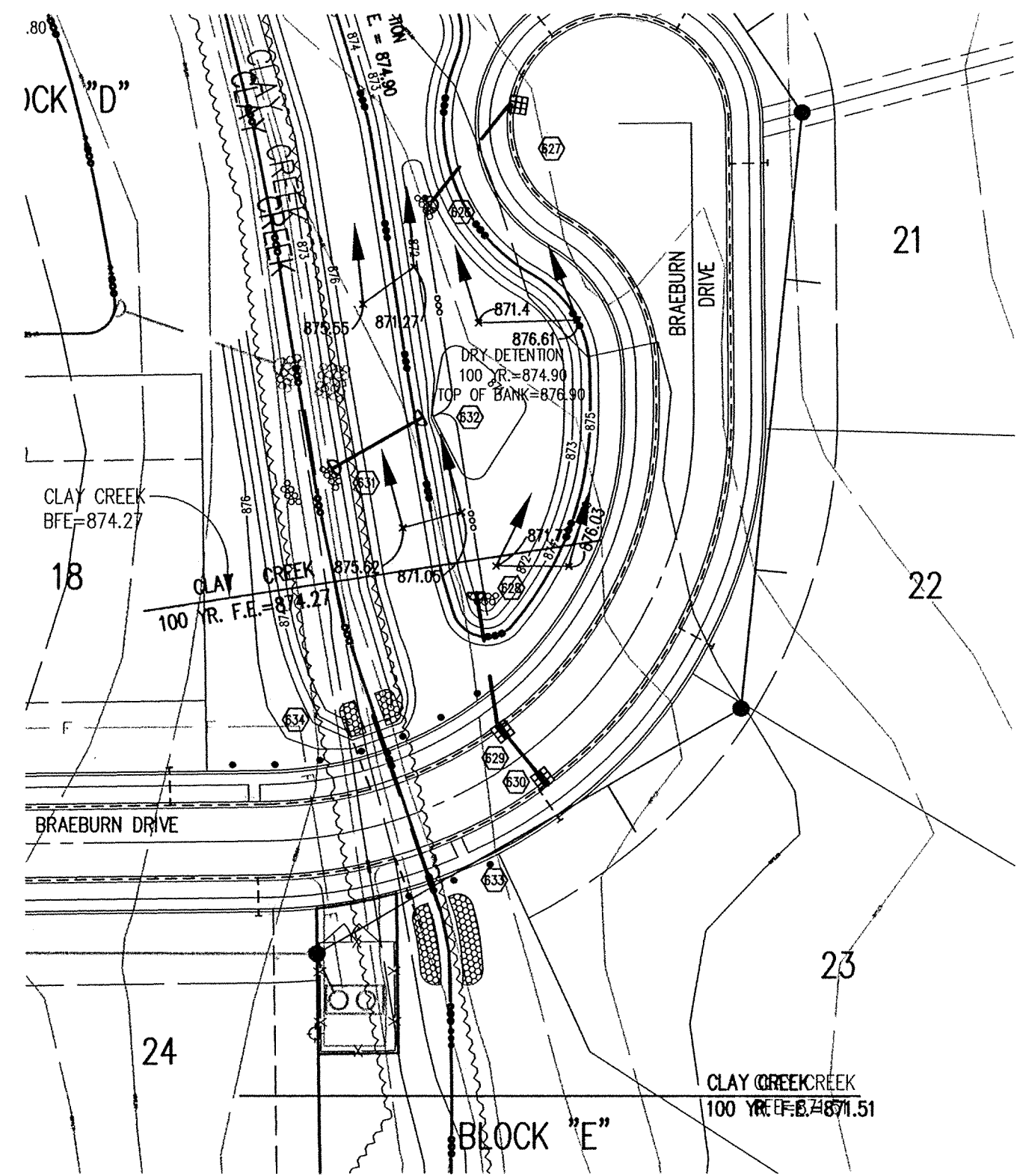
SANITARY SEWER PROFILE

**SANITARY SEWER RECORD DRAWING**

SCALE: HORZ.: 1"=50'  
VERT.: 1"=5'

**LEGEND**

	Existing Grade
	New Grade
	Granular Backfill



HOLEY MOLEY SAYS  
**"DON'T DIG BLIND"**  
  
**"IT'S THE LAW"**  
 CALL 2 WORKING DAYS BEFORE YOU DIG  
**1-800-382-5544**  
 CALL TOLL FREE  
 PER INDIANA STATE LAW IS-69-1991:  
 IT IS AGAINST THE LAW TO EXCAVATE  
 WITHOUT NOTIFYING THE UNDERGROUND  
 LOCATION SERVICE TWO (2) WORKING  
 DAYS BEFORE COMMENCING WORK.

Sheet	Detail Number	Description
C801	6	Bedding Detail - Reinforced Concrete Pipe (RCP)
C801	8	Roll Curb Inlet
C801	N/A	Beehive Inlet Detail
C801	N/A	Storm Manhole Detail
C801	5	Precast Concrete End Section
C801	10	Rip Rap Detail

LEGEND/DETAILS

NOTE

**GENERAL NOTES**

- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
- ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL UTILITY LOCATIONS BEFORE CONSTRUCTION BEGINS.
- CONTRACTORS SHALL MINIMIZE DAMAGE TO EXISTING TREES.

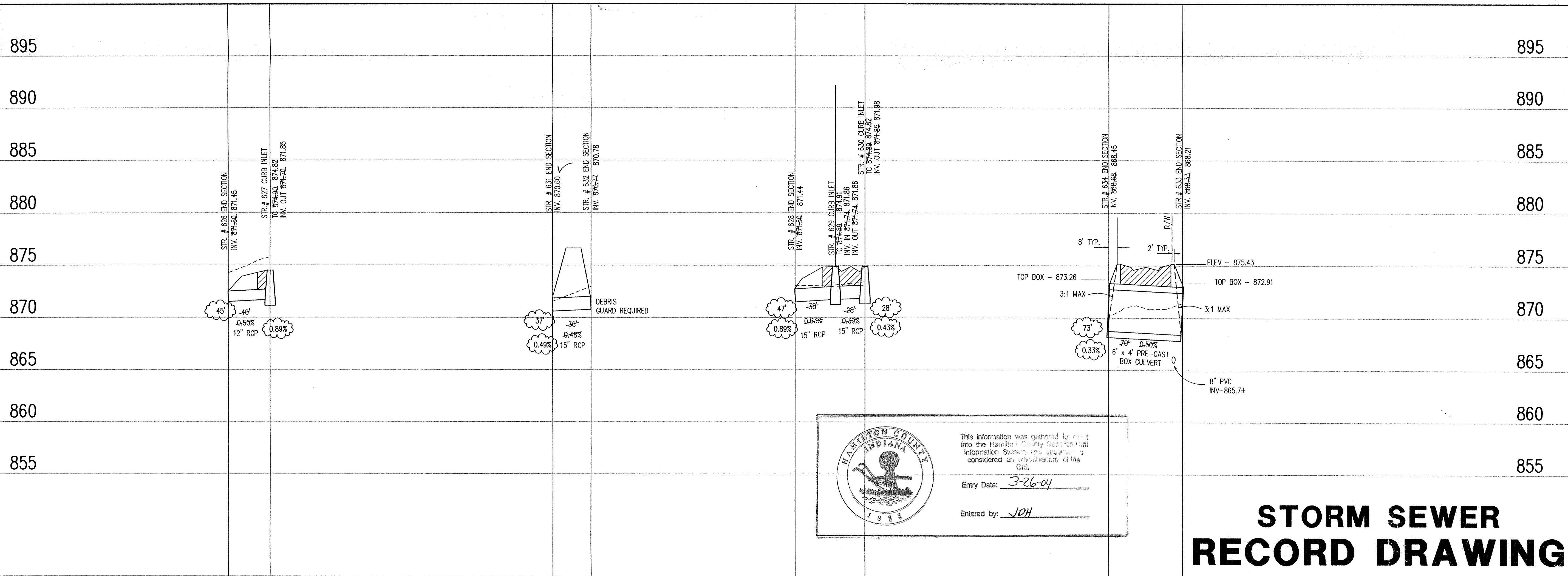
**BENCHMARK**

TBM #44  
 USGS BENCHMARK  
 CUT "X" NORTH BONNET BOLT IN FIRE HYDRANT  
 EAST SIDE HOOVER RD. ±100' SOUTH OF CLARIDGE  
 FARM ENTRANCE.  
 ELEVATION - 893.39

- Revisions
- MC, 06/21/00, REVISED PER TAC COMMENTS.
  - DCC, 08/27/01, REVISED PER HAMILTON CO. SURVEYOR'S OFFICE.
  - SET, 09/28/01, REVISED BOX CULVERT PER HAMILTON CO. SURVEYOR'S OFFICE.
  - RAS, 05/02/02, RECORD DRAWING.

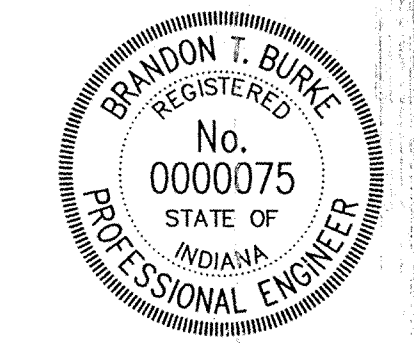
**STORM SEWER PLAN**

SCALE: 1"=50'



**CERTIFICATION FOR "RECORD DRAWING"**

NOTE:  
 Record drawing certification only for top of casing, invert elevations and lengths of pipe. Slope percentage represents a calculated figure and is for general information only.



CERTIFIED BY: *[Signature]* 7/6/13

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2000, The Schneider Corporation



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 HIGH GROVE - SECTION 2  
 HAMILTON COUNTY, INDIANA

**STORM SEWER PLAN AND PROFILE**

Date	Project No.	Drawn	Apprv.
06/16/00	2464.002	DCC	

Computer Files	Sheet No.
2464.002.DWG 2464.002.DWG 2464.002.DWG 2464.002.DWG	C601

HAMILTON COUNTY INDIANA

This information was gathered for use in the Hamilton County Geographical Information System and is considered an official record of the GIS.

Entry Date: 3-26-04

Entered by: JDH

**STORM SEWER RECORD DRAWING**

SCALE: HORZ.: 1"=50'  
 VERT.: 1"=5'

**LEGEND**

	Existing Grade
	New Grade
	Granular Backfill

**STORM SEWER PROFILE**